

BEFORE THE SPECIAL MASTER OF DESOTO COUNTY

DESOTO COUNTY

Petitioner,

vs.

CASE NO. SM-CE 26-0142

Brady Alexis

Respondents,

_____/

TO: Brady Alexis
7268 SW Liverpool Rd
ARCADIA FL 34269

RE: 7268 SW Liverpool Rd, ARCADIA FL 34269

NOTICE OF MANDATORY HEARING

1. You are hereby notified that the DeSoto County Development Department has filed an Affidavit of Violation (copy attached) against you for violation of DeSoto County Land Development Regulations, as shown on the Affidavit of Violation.
2. The Special Master hearing has been set for **June 18, 2026 at 11:00 am** or as soon thereafter as this case may be heard, in Room 103, First Floor of the DeSoto County Administration Building, 201 East Oak Street, Arcadia, Florida 34266.
3. If you have cleared the violation by the time stated in the Affidavit of Violation AND have received written notification from the Director of the Department that all the violations have been cleared, the hearing will be canceled and you will not be required to appear.
4. **IT IS YOUR RESPONSIBILITY TO CONTACT THE DESOTO COUNTY CODE ENFORCEMENT DIVISION TO ARRANGE FOR A REINSPECTION OF THE PROPERTY IN ORDER TO VERIFY THAT THE VIOLATIONS HAVE BEEN CORRECTED AND THAT THE PROPERTY HAS BEEN BROUGHT IN TO COMPLIANCE WITH THE APPLICABLE SECTIONS OF THE DESOTO COUNTY LAND DEVELOPMENT REGULATIONS.**
5. Otherwise, you must be present at this hearing to avoid an order being entered against you solely on the evidence to be presented by the petitioner **AND A LIEN BEING RECORDED AGAINST YOUR PROPERTY.** Violations may be fined at the rate of \$250.00 per day of violation.
6. **If the Affidavit of Violation charges you with a Repeat Violation, the matter may be presented to the Special Master even if the repeat violation has been corrected prior to the hearing.** If a violation is found to be a repeat violation, the Special Master may increase the fine to \$500.00 for each day of the repeat violation.
7. In addition to any fines, the amount of the lien may include the costs incurred in prosecuting the case pursuant to Section 162.07(2), F.S., and the reasonable costs which are required to bring the property into compliance pursuant to Section 162.09(1), F.S.
8. If you have witnesses or other evidence bearing on this matter, you should bring them with you at the time of the hearing.
9. If you wish to have witnesses subpoenaed, see the Clerk at once at the DeSoto County Administration Building, 201 East Oak Street, Arcadia, Florida, for assistance.
10. If you wish, you may file an answer denying the allegations of the Affidavit of Violation or alleging substantial facts which would constitute an affirmative defense. Failure to answer shall constitute a denial of the allegations of the Affidavit of violation but shall bar the presentation of evidence of an affirmative defense.
11. If you decide to appeal any decision made by the Special Master, you will need a record of the proceedings, and, for such purpose, you may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.
12. You may come with or without an attorney.

Dated at Arcadia, DeSoto County, Florida, this _____ day of _____ 2026.

CERTIFICATE OF SERVICE

I HEREBY CERTIFY that a true copy of this notice was mailed to the above Respondent as addressed by: (check one that applies) _____ Certified Mail, Return Receipt Requested/ or _____ Regular U.S Mail on this _____ day of _____, 2026.

Valerie Vicente, County Attorney
Florida Bar Number 71010
201 East Oak Street, Suite 201
Arcadia, Florida 34266
Certified Mailing Number: 9589071052702678570110

BEFORE THE SPECIAL MASTER OF DESOTO COUNTY

DESOTO COUNTY
Petitioner,

vs.

CASE NO. SM-CE 26-0142

Brady Alexis
Respondents,

_____ /

AFFIDAVIT OF VIOLATION
(LDR Sect. 20-1581(b))

STATE OF FLORIDA)
COUNTY OF DESOTO)

Before me, the undersigned authority authorized to administer oaths, personally appeared the undersigned Code Enforcement Officer, who, being first duly sworn, deposes and says the following is true to the best of his/her information and belief:

TO: Brady Alexis, 7268 SW Liverpool Rd, ARCADIA FL 34269.

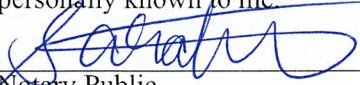
1. An inspection on May 27, 2026, Code Enforcement Officer visited your property located at 7268 SW Liverpool Rd, ARCADIA FL 34269 described and zoned as: RSF-3

DeSoto County Tax Parcel Number #25-39-23-0366-0040-0100 more particularly described by deed or instrument number #200914003976 of the Official Records of DeSoto County, Florida.
2. **The inspection resulted in the findings that the property is: Overgrown , Unauthorized dumping and accumulation prohibited , Parking and Storage of Certain Vehicles and Trailers.**
3. These are direct violation of DeSoto County Land Development Regulations: LDR Sec. 20-1616 (a)(5) (e) , DCCO Section 11-302 , LDR Sec. 20-97 (b), copies of which are attached hereto.
4. You were previously notified of these violation(s) of the DeSoto County Land Development Regulations by a notice dated May 13, 2026 and served by certified receipt requested/posting.
5. You are hereby notified that you must clear the violation(s): Mow and maintain the property , Remove all garbage, refuse, rubbish, junk, and debris from the property. , The RV trailer cannot be used to live in and cannot be hook to any utilities.. Please contact our office to get this issue resolved 863-491-6165.
6. Your failure to comply with the terms of this Notice will result in this matter being heard before a Special Master of DeSoto County at the time and place shown on the attached Notice of Mandatory Hearing. Correction delayed until immediately prior to the hearing will not result in cancellation of this hearing. If you fail to correct the violation or if the violation is corrected and recurs, the case may be presented to the Special Master even if the violation has been corrected prior to the hearing.

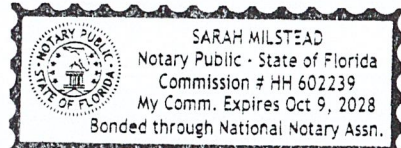


Thomas Turnbull
Code Enforcement Officer
201 E. Oak Street
Arcadia, Florida 34266

Sworn to and subscribed before me this 28th day of May , 2026 Affiant is personally known to me



Notary Public



Special Master Mandatory Hearing Case Checklist

** This checklist must be completed and accompany each case being reviewed for Special master Mandatory Hearing**

? or N/A	Respondents Name <u>Brady Alexis</u> Case # <u>26-0142</u> Site Address <u>7268 SW Liverpool Rd</u> Respondent's Mailing Address <u>7268 SW Liverpool Rd Arcadia, FL 34269</u>
/	Case Notes in date order
/	Case Cost to date
/	Property card
/	Tax Record
/	Deed Information
/	Complaint/Request
/	Copy of LDR or DCCO section to be cited on Notice of Mandatory Hearing
/	Notice of Mandatory Hearing (file copy)
/	Green Card if received, and or Track and Confirm information from the USP website
n/a	Original Notice to Correct in the envelope with the green card attached (if unclaimed)
/	Copy of Notice to Correct that was posted and sent by regular Mail
/	Photograph of the posting, if applicable
/	Affidavit of posting or hand delivery
	Photographs of site visits in support of the case
n/a	Any correspondence to or from the Respondent or the Respondent's representative
n/a	Any other supporting documentation (e.g., Division of Corporation information, Certificate of Use issued by Planning and Zoning, copies of permits, R.O.W. forms, etc.)

Information: Any special instructions (IE, if posting affidavit is required, if some of the violations listed on the original Notice have been corrected, if the Hearing Notice needs to be sent to more than one person)

_____ Only the following violations will be referenced in the Notice of Mandatory Hearing:

- LDR Sec. 20-1616 (a)(5)(e) Overgrown
- DCCO Section 11-302 Unauthorized dumping and accumulation prohibited
- LDR Sec. 20-97 (b) Parking and Storage of Certain Vehicles and Trailers

_____ Will have to be posted and sent by regular mail in addition to the Certified Mail with return receipt.
 _____ Will need an Affidavit of posting

Special Instructions

The property was mowed / furniture & Appliance and
 (R.V. trailer are still in violation)

Officer's Name Turnbull, Thomas

Special Master Hearing on: 6/18/26

Reviewed by: 

Date: 5/28/26

SMCE 26-0142

Code Enforcement Case: CE-26-0142

Entered on: 05/12/2026 12:34 PM

Printed on: 05/27/2026

Topic: Occupied Vehicle / RV
 Due Date: 05/27/26
 Initiated by: Citizen
 Hearing Date:
 SM Case No:

Status: Open - Turn in for SM
 Assigned To: Jorge Hernandez
 Area #: RSF-3
 Hearing Time:

Permit

Permit #: _____ Business name: _____ License #: _____

Property Location

Occupant Name:
 Address: 7268 SW Liverpool Rd , 34269
 Phone: _____ Cell #:
 APN : 25-39-23-0366-0040-0100

Owner Information

Owner Name: Brady Alexis
 Address: 7268 SW Liverpool Rd
 Arcadia, FL 34269
 Phone: _____ Cell #:

Actions

Action	By	Date	Time	Note/Observation
Complaint	Thomas Turnbull	05/06/2026	12:46 pm	Request 6385-BILLY BLACK - Travel trailer with no tags on the trailer, trash and debris all over, doesn't have a very secure septic tank, doesn't have a working well pump, wires all over the place is a fire hazard all around the house.
Inspection / Site Visit	Thomas Turnbull	05/12/2026	10:59 am	The RV trailer is hooked to utilities and lived in. The grass is overgrown and there is furniture in the driveway with debris too. Took photos.
Notice of Violation	Thomas Turnbull	05/13/2026	7:57 am	> Inspection Time:10:59 am, Send to (Owner - Cert no=9589071052702678571742), Extra days(0)
Mail and Post Notice to Correct Violation	Thomas Turnbull	05/13/2026	9:52 am	Posted the N2C and mail out the letter, took photos.
Inspection / Site Visit	Sharon Gray	05/14/2026	10:03 am	Site visit photos taken
Inspection / Site Visit	Thomas Turnbull	05/27/2026	12:02 pm	They are still in violation. They did mow the property, but there are furniture and appliance in the driveway. The RV trailer still look like someone living in it. Took photos.
Special Master Mandatory Hearing Case Submittal Checklist Template	Thomas Turnbull	05/27/2026	2:15 pm	Send to (Owner)
Submitted for Special Master Review and approval	Thomas Turnbull	05/27/2026	2:47 pm	Turn in for review for Special Master Hearing.

Violations

#	Violation Type	Due Date	Status	Closed Date
1	LDR Sec. 20-1616 (a)(5)(e) - Overgrown Corrections Required:Mow and maintain the property		Open	
2	DCCO Section 11-302 - Unauthorized dumping and accumulation prohibited Corrections Required:Remove all garbage, refuse, rubbish, junk, and debris from the property.		Open	
3	LDR Sec. 20-97 (b) - Parking and Storage of Certain Vehicles and Trailers Corrections Required:The RV trailer cannot be used to live in and cannot be hook to any utilities.		Open	

Additional Addresses

Address Type: Complainant
Name: BILLY BLACK
Address: 11615 SW LEMON AVE
ARCADIA, FL 34269
Phone: (863) 0263-8033 Cell #:

Inspection Notes

Date: _____ Time: _____

Findings: _____

DeSoto County Property Appraiser

David A. Williams, CFA, CCE

2025 Certified Values
updated: 5/21/2026

Parcel: << 25-39-23-0366-0040-0100 (2292) >>

Owner & Property Info

Result: 1 of 1

Owner	BRADY ALEXIS 7268 SW LIVERPOOL RD ARCADIA, FL 34269		
Site	7268 SW LIVERPOOL RD, ARCADIA		
Description*	SUNNY BREEZE HARBOR SEC 1 LOT 10 BLK 4 INST:200914003976		
Area	0.323 AC	S/T/R	25-39-23
Use Code**	SINGLE FAMILY (0100)	Tax District	7

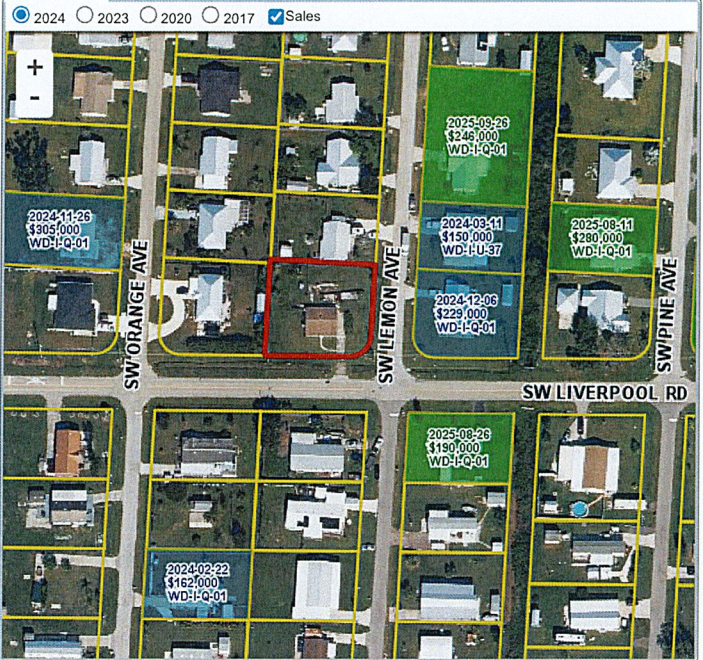
*The Description above is not to be used as the Legal Description for this parcel in any legal transaction.
**The Use Code is a FL Dept. of Revenue (DOR) code and is not maintained by the Property Appraiser's office. Please contact your city or county Planning & Zoning office for specific zoning information.

Property & Assessment Values

2024 Certified Values		2025 Certified Values	
Mkt Land	\$25,000	Mkt Land	\$25,000
Ag Land	\$0	Ag Land	\$0
Building	\$125,646	Building	\$150,520
XFOB	\$708	XFOB	\$673
Just	\$151,354	Just	\$176,193
Class	\$0	Class	\$0
Appraised	\$151,354	Appraised	\$176,193
SOH/10% Cap	\$0	SOH/10% Cap	\$817
Assessed	\$151,354	Assessed	\$175,376
Exempt	HX HB \$50,000	Exempt	HX HB \$50,722
Total Taxable	county:\$101,354 school:\$126,354	Total Taxable	county:\$124,654 school:\$150,376

NOTE: Property ownership changes can cause the Assessed value of the property to reset to full Market value, which could result in higher property taxes.

Aerial Viewer Building Photo Google Maps



Sales History

Show Similar Sales within 1/2 mile Fill out Sales Questionnaire

Sale Date	Sale Price	Book/Page	Deed	V/I	Qualification (Codes)	RCode
5/4/2009	\$100	200914003976	QC	I	U	11
7/3/2008	\$100	200814006425	QC	I	U	
10/8/2004	\$20,000	553 / 1932	WD	I	U	
4/1/1986	\$42,000	222 / 868	WD	I	Q	01
4/1/1978	\$22,000	141 / 283	MS	I	U	

Building Characteristics

Bldg Sketch	Description*	Year Blt	Base SF	Actual SF	Bldg Value
Sketch	SINGLE FAM (0100)	1978	1022	1330	\$148,650

*Bldg_Desc determinations are used by the Property Appraisers office solely for the purpose of determining a property's Just Value for ad valorem tax purposes and should not be used for any other purpose.

Extra Features & Out Buildings (Codes)

Code	Desc	Year Blt	Value	Units	Dims
0850	CONCR SLAB	2001	\$200.00	100.00	10 x 10
2003	SIDEWALK	1978	\$56.00	80.00	0 x 0
0860	DRVWY CONC	1982	\$225.00	240.00	0 x 0
0861	DRVWY ASPH<10000 SF	1978	\$117.00	278.00	0 x 0

Land Breakdown

Code	Desc	Units	Adjustments	Eff Rate	Land Value	* Zoning
0100	SFR (MKT)	1.000 LT (0.323 AC)	1.0000/1.0000 1.0000/ /	\$25,000 /LT	\$25,000	RSF-3

* The Property Appraiser's Office is NOT responsible for the zoning codes. For more information about Zoning, please contact the appropriate Planning & Zoning office for your area. City of Arcadia office: 863-494-4114 -or- DeSoto County office: 863-993-4806

Search Result: 1 of 1

SUNNY BREEZE HARBOR SEC 1
 LOT 10 BLK 4
 INST:200914003976

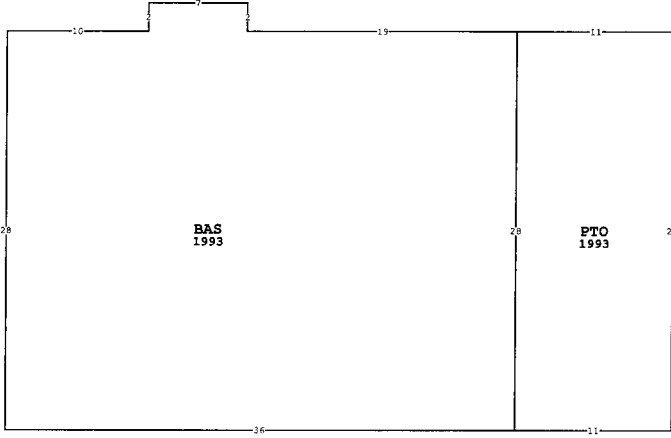
BRADY ALEXIS
 7268 SW LIVERPOOL RD
 ARCADIA, FL 34269

2025

25-39-23-0366-0040-0100

BUILDING CHARACTERISTICS					
ELEMENT	CD CONSTRUCTION				
Exterior Wall	17 CB STUCCO 100				
Roof Structure	03 CABLE/HIP 100				
Roof Cover	05 DRYWALL 100				
Interior Wall	05 DRYWALL 100				
Interior Floor	14 CARPET 100				
Air Condition	03 CENTRAL 100				
Heating Type	04 AIR DUCTED 100				
Bedrooms	2 100				
Bathrooms	1.5 100				
Frame	03 MASONARY 100				
Stories	1 100				
Architectural Units	01 . 100 0 100				
Quality	03 AVERAGE				
DOR CODE	0100 SINGLE FAMILY				
MAP NUM	MKT AREA 05				
NEIGHBORHOOD/LOC	500410.00 1.15/				
AREA TYPE	TOTAL GROSS AREA	PCT OF BASE	YEAR	TOT ADJ AREA	SUBAREA MARKET VALUE
BAS	1,022	100	1993	1,022	148,343
PTO	308	5	1993	15	2,178
TOTALS	1,330			1,037	150,520

MARKET ADJUSTMENTS											
TYPE	MDL	EFF. AREA	TOT ADJ PTS	EFF. BASE RATE	REPL. COST NEW	AYB	EYB	ECON	FNCT	NORM	% COND
0100	01	1,037	125.4300	180.31	186,981	1978	1990	0	0	19.50	80.50
1 SINGLE FAM 100% - 2024 Heated Area: 1022 HX Base Yr 2024											



DESOTO COUNTY PROPERTY		PAGE 1 of 1	7				
VALUATION BY		STANDARD					
Tax Group: 7	Tax Dist:						
BUILDING MARKET VALUE		150,520					
TOTAL MARKET OB/XF VALUE		673					
TOTAL LAND VALUE - MARKET		25,000					
TOTAL MARKET VALUE		176,193					
SOH/AGL Deduction		817					
ASSESSED VALUE		175,376					
TOTAL EXEMPTION VALUE	HX HB	50,722					
BASE TAXABLE VALUE		124,654					
TOTAL JUST VALUE		176,193					
INCOM VALUE		19,633					
INCOME VALUE							
PREVIOUS YEAR MKT VALUE		151,354					
PERMIT NUM DESCRIPTION AMT ISSUED							
SALES DATA							
OFF RECORD Number	DATE	TYPE INST	Q U I	V I	RSN CD	SALE PRICE	
200914003976	5/04/2009	QC U	I	I	11	100	
GRANTOR: WILLIAMS FRANK							
GRANTEE: BRADY ALEXIS							
200814006425	7/03/2008	QC U	I	I		100	
GRANTOR: WILLIAMS FRANK & ERMA							
GRANTEE: WILLIAMS FRANK							
BLD DATE				LGL DATE			
XF DATE				LAND DATE			
INC DATE				AG DATE			
7268 SW LIVERPOOL RD, ARCADIA				06/28/2024 MLU			
EXTRA FEATURES				BUILDING NOTES			
BUILDING DIMENSIONS				PTO=[YR=1993] W11 BAS=[YR=1993] W19 N2 W7 S2 W10 S28 E36 N28 S S28 E11 N28 S.			

L N	OB/XF CODE	DESCRIPTION	BLO CAP	L	W	UNITS	UT	Adj R	ADJ UNIT PRICE	ORIG COND	YEAR ON	YEAR ACTUAL	Q	% COND	OB/XF MKT VALUE	NOTES
1	0850	CONCR SLAB	0	100	10	100.00	SF	2.50	2.50	100	2001	2001	3	83	208	
2	2003	SIDEWALK	0	100	0	80.00	SF	2.50	2.50	100	1978	1978	3	32.5	65	
3	0860	DRVWY CONC	0	100	0	240.00	SF	2.50	2.50	100	1982	1982	3	44	264	
4	0861	DRVWY ASPH	0	100	0	278.00	SF	1.50	1.50	100	1978	1978	3	32.5	136	

LAND DESCRIPTION															TOTAL OB/XF					673				
L N	USE CODE	CLS	LAND USE DESCRIPTION	CAP	R D	LOC ZONE	FRONT	DEPTH	TOT LND UTS	UNIT TYPE	D T	DPTH FACT	% COND	TOT ADJ	UNIT PRICE	ADJ UNIT PRICE	LAND VALUE	OTHER ADJUSTMENTS AND NOTES	YEAR	DENSITY	DECL	FRZ	YR	CONSRV
1	0100	C	SFR	100		RSF-3	0.00	0.00	1.00	LT		1.00	1.00	1.00	25,000.00	25,000.00	25,000							

Notice Of AD Valorem Taxes & Non-AD Valorem Assessments

Bill # R 209600 2025

R 25-39-23-0366-0040-0100

REAL ESTATE TAX/NOTICE RECEIPT FOR DESOTO COUNTY

AD VALOREM TAXES

TAXING AUTHORITY	MILLAGE RATE	TAX AMOUNT
DESOTO COUNTY	.0068675	\$856.06
COUNTY LAW ENF	.0029406	\$366.56
SCHOOL LRE	.0030330	\$456.09
SCHOOL DISC	.0022480	\$338.05
SOUTHWEST WATER MGMT	.0001831	\$22.82
TOTAL AD-VALOREM:		\$2,039.58

**BRADY ALEXIS
7268 SW LIVERPOOL RD
ARCADIA , FL 34269**

0.323 ACRES
SUNNY BREEZE HARBOR SEC 1
LOT 10 BLK 4
INST:200914003976

NON-AD VALOREM ASSESSMENTS

TAXING AUTHORITY	TAX AMOUNT
Asmt - EMS	\$115.00
Asmt - FIRE	\$145.00
Asmt - SUNNY BREEZE	\$43.49
Asmt - SOLID WASTE	\$45.50
Asmt - SOLID WASTE COLLECT	\$239.30
TOTAL NON-AD VALOREM:	\$588.29

FAIR MKT VALUE	\$176,193.00	DIST	7
ASSESS	\$175,376.00	EXEMPT VALUE	\$50,722.00
TAXABLE VALUE	\$124,654.00		

COMBINED TAXES & ASMTS: \$2,627.87

DISCOUNT: \$0.00

UNPAID BALANCE: \$2,710.31

Exemptions: HX HB

**Property Address:
7268 SW LIVERPOOL RD ARCADIA 34269**

Delinquent Tax History

Year	Roll	Bill #	Outstanding Tax	Accrued Penalties	Total Due	Reference
2024	R	209200-I	\$2,439.07	\$176.89	\$2,615.96	124 I
Total Due					\$2,615.96	

These are current amounts that are due that change the first of each month, please call our office if you need a future amount.

Tax Roll Property Summary

Parcel	Roll Type	Year	Original Gross Tax	Original Assessments	Date Paid	Amount Paid	Total Unpaid
253923036600400100	R	2025	\$2,039.58	\$588.29	N/A	\$0.00	\$2,710.31
253923036600400100	R	2024	\$1,713.71	\$515.12	N/A	\$0.00	\$2,615.96
253923036600400100	R	2023	\$1,597.66	\$508.31	2/27/2026	\$2,625.07	\$0.00
253923036600400100	R	2022	\$1,715.30	\$498.16	1/16/2024	\$2,549.82	\$0.00
253923036600400100	R	2021	\$1,482.91	\$462.64	1/16/2024	\$2,242.46	\$0.00
253923036600400100	R	2020	\$1,332.25	\$442.81	3/27/2023	\$2,048.85	\$0.00
253923036600400100	R	2019	\$1,186.32	\$438.38	2/18/2022	\$1,871.48	\$0.00
253923036600400100	R	2018	\$1,046.56	\$432.50	5/14/2020	\$1,706.10	\$0.00
253923036600400100	R	2017	\$896.62	\$390.50	3/30/2020	\$1,488.14	\$0.00
253923036600400100	R	2016	\$812.18	\$390.50	4/25/2018	\$1,392.25	\$0.00
253923036600400100	R	2015	\$776.26	\$311.50	5/27/2016	\$1,123.69	0.00
253923036600400100	R	2014	\$704.12	\$287.50	3/31/2015	\$991.62	0.00

Return to: Frank Williams
Name: 11597 SW Lemon Ave.
Address: Arcadia, FL 34269

Inst:200914003976 Date:5/5/2009 Time:2:47 PM
Doc Stamp-Deed:0.70
DC, Mitzie McGavic, Desoto County Page 1 of 1

This Instrument Prepared by:

Frank Williams
11597 SW Lemon Ave.
Arcadia, FL 34269

Property Appraisers Parcel I.D. (Folio) Number(s):
25-39-23-0366-0040-0100



QUITCLAIM DEED
(INDIVIDUAL)

THIS INDENTURE, Made this 5th day of May, 2009, by and between **Frank Williams, a married man**, of the County of DeSoto, in the state of Florida hereinafter collectively referred to as "Seller", and

Alexis Brady, a single woman, of the County of DeSoto, in the state of Florida hereinafter collectively referred to as "Buyer",

WITNESSETH: That Seller, for and in consideration of the sum of \$10.00 Dollars and other valuable considerations, lawful money of the United States of America, to Seller in hand paid by the Buyer, the receipt whereof is hereby acknowledged, has remised, released and quitclaimed to the Buyer, Buyer's heirs and assigns forever, all the rights, title, interest and claim of the Seller in and to the following described land in DeSoto County, Florida, to wit:

LOT 10, BLOCK 4, SECTION 1, SUNNYBREEZE HARBOR, a subdivision according to the plat thereof as recorded in Plat Book 6, Page 83, in the Public Records of DeSoto County, Florida.

To Have and to Hold, the above described premises, with the appurtenances, unto Buyer, Buyer's heirs and assigns forever.

IN WITNESS WHEREOF, Seller has executed this deed under seal on the date aforesaid.

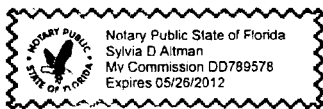
Signed, Sealed and Delivered in Our Presence:

Witness Signature: Sylvia D. Altman Frank Williams
Witness Printed Name: **Sylvia D. Altman** **Frank Williams**
Witness Signature: Jeffrey W. Heitman
Witness Printed Name: **Jeffrey W. Heitman**

STATE OF FLORIDA
COUNTY OF DESOTO

The foregoing instrument was acknowledged before me this 5th day of May, 2009, by **Frank Williams, a married man**. **He/she is personally known** to me or has produced driver license(s) as identification.

My Commission Expires:



Sylvia D. Altman
Printed Name:
Notary Public
Serial Number

Customer Information

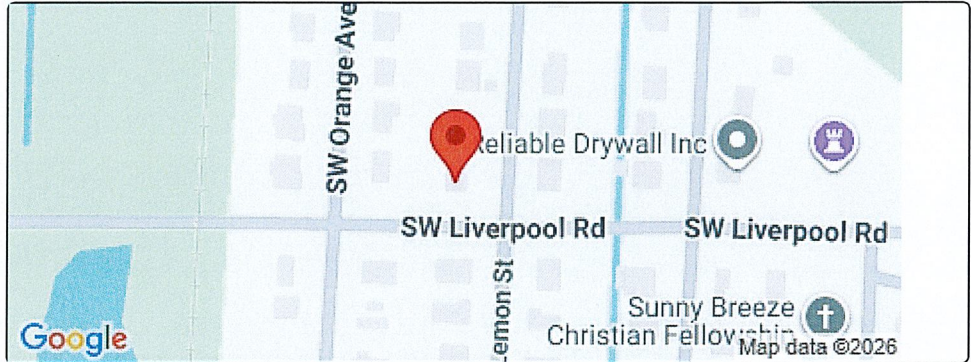
Name: BILLY BLACK
Address: 11615 SW LEMON AVE
ARCADIA, FL 34269

Phone: (863) 263-8033
Alt. Phone:
Email:

Request Classification

Topic: Other - Code Enforcement
Status: Closed
Assigned to: Thomas Turnbull
Property Address: 7268 SW Liverpool Rd

Request type: Complaint
Priority: Normal
Entered Via: Other



Property APN: 25-39-23-0366-0040-0100

Retention Disposition Date
Date File Scanned into DocuShare:

Description

Travel trailer with no tags on the trailer, trash and debris all over, doesn't have a very secure septic tank, doesn't have a working well pump, wires all over the place is a fire hazard all around the house.

Reason Closed

Turn into a code case for the RV, debris and overgrown grass, CE number is CE-26-0142

Date Expect Closed: 05/20/2026

Date Closed: 05/12/2026 12:36 PM **By:** Thomas Turnbull

Enter Field Notes Below

Notes:

Sec. 11-302. - Unauthorized dumping and accumulation prohibited.

No person shall dump or cause to be dumped, or place or cause to be placed, leave or permit to accumulate any garbage, refuse, rubbish, junk, debris, furniture, appliances, inoperative and derelict automobiles, boats, trucks, and vehicles of like nature, or trash or weeds, debris and any obnoxious material of any kind or any used or scrap building materials on any lands or premises, improved or unimproved, within the County.

(Code 2007, § 9.13; Ord. No. 1987-7, § 2, 3-24-1987)

Sec. 20-97. - Parking and storage of certain vehicles and trailers.

- (a) Motor vehicles, recreational vehicles or trailers, of any type, without current license plates, or which appear to be abandoned or in significant disrepair, shall not be parked or stored outdoors in any district that allows residential use.
- (b) Other than as authorized in zoning districts TTRVC and RVC, or for medical hardship under Section 20-728(e), a recreational vehicle, trailer or travel trailer is prohibited unless it is parked on property with a dwelling or is stored in an enclosed structure, and is owned by the owner or occupant of that property; provided, however, that other than as authorized in zoning districts TTRVC and RVC, or for medical hardship under Section 20-728(e), said recreational vehicle, trailer or travel trailer may not be connected to any water utility or well, wastewater utility or septic tank, occupied or used for storage.

(LDR, § 2203; Ord. No. 2012-01, § 2203, 5-22-2012; Ord. No. 2014-05, att. A, § 16, 10-28-2014)



COUNTY DEVELOPMENT DEPARTMENT
DESOTO COUNTY

201 East Oak Street, Suite 204
Arcadia, Florida 34266
Telephone (863)491-6165
Fax (863)491-6163



NOTICE to CORRECT VIOLATION

Brady Alexis
7268 SW Liverpool Rd
Arcadia, FL 34269

RE: 7268 SW Liverpool Rd
PIN #: 25-39-23-0366-0040-0100
Case No: CE-26-0142

Date: May 13, 2026

Please be advised that this letter serves as notice that your property was visited due to a complaint or as a result of a routine area patrol and was found to be in violation of the below listed Ordinance(s):

LDR Sec. 20-1616 (a)(5)(e) Overgrown: Vegetation: Which is located in areas other than those areas zoned Agricultural 10 (A-10), Agricultural 5 (A-5), or Phosphate Mining-Industrial (PM-I), and which is unmanaged and in excess of ten (10) inches.

DCCO Section 11-302 Unauthorized dumping and accumulation prohibited:

No person shall dump or cause to be dumped, or place or cause to be placed, leave or permit to accumulate any garbage, refuse, rubbish, junk, debris, furniture, appliances, inoperative and derelict automobiles, boats, trucks, and vehicles of like nature, or trash or weeds, debris and any obnoxious material of any kind or any used or scrap building materials on any lands or premises, improved or unimproved, within the County.

(Code 2007, § 9.13; Ord. No. 1987-7, § 2, 3-24-1987)

LDR Sec. 20-97 (b) Parking and Storage of Certain Vehicles and Trailers: Other than as authorized in zoning districts TTRVC and RVC, or for medical hardship under [Section 20-728\(e\)](#), a recreational vehicle, trailer or travel trailer is prohibited unless it is parked on property with a dwelling or is stored in an enclosed structure, and is owned by the owner or occupant of that property; provided, however, that other than as authorized in zoning districts TTRVC and RVC, or for medical hardship under [Section 20-728\(e\)](#), said recreational vehicle, trailer or travel trailer may not be connected to any water utility or well, wastewater utility or septic tank, occupied or used for storage

Facts constituting violation (including date, time, and place of violation): On **May 12, 2026** at **10:59 am**, the property located at **7268 SW Liverpool Rd** was visited and revealed the following:

Need to mow the yard. Need to clean up the debris in the yard. The RV trailer cannot be lived in or hooked to any utilities.

You must correct the violation(s) by taking the appropriate steps.

Mow and maintain the property

Remove all garbage, refuse, rubbish, junk, and debris from the property.

The RV trailer cannot be used to live in and cannot be hook to any utilities.

Due by: May 27, 2026

Due by: May 27, 2026

Due by: May 27, 2026

Failure to correct the violation(s) may result in a citation being issued to you for a civil infraction which would be heard by a county court judge or violations as alleged in this notice to correct may be heard by a Special Magistrate. If the violation is corrected and then recurs or if the violation is not corrected by the time specified for correction by the code inspector, the case may be presented to the Special Magistrate if the violation has been corrected prior to the Hearing.

If found to be in violation, a fine may be imposed of up to \$250.00 per day per violation for a first time violator, and up to \$500.00 per day per violation for a repeat violation.

If you feel that you are not in violation, you may submit a request in writing to this department for a hearing before the Special Magistrate. If, as a result of the hearing, it is determined that your property is not in violation, case cost would not be assessed.

If you have any questions concerning this matter, please contact Code Enforcement at 201 East Oak Street, Suite 204, Arcadia, FL 34266, Telephone number (863) 491-6165 or (863) 993-4806.

Sincerely



Thomas Turnbull
Code Enforcement Officer

Certified Mailing Number: 9589071052702678571742



Tracking Number:

Remove X

9589071052702678571742

[Copy](#)

[Schedule a Redelivery](#)

Latest Update

This is a reminder to arrange for redelivery of your item before May 30, 2026 or your item will be returned on May 31, 2026. You may arrange redelivery by using the Schedule a Redelivery feature on this page or may pick up the item at the Post Office indicated on the notice.

Get More Out of USPS Tracking:

[USPS Tracking Plus®](#)

Delivery Attempt: Action Needed

Reminder to Schedule Redelivery of your item before May 30, 2026

May 21, 2026

Notice Left (No Authorized Recipient Available)

ARCADIA, FL 34269

May 16, 2026 9:46 AM

[See All Tracking History](#)

Feedback

What Do USPS Tracking Statuses Mean?

[Text & Email Updates](#)



[Schedule Redelivery](#)



[USPS Tracking Plus®](#)





See Less ^

Track Another Package

Need More Help?

Contact USPS Tracking support for further assistance.

FAQs



COUNTY DEVELOPMENT DEPARTMENT
DESOTO COUNTY

201 East Oak Street, Suite 204
Arcadia, Florida 34266
Telephone (863)491-6165
Fax (863)491-6163

**STATE OF FLORIDA
COUNTY OF DESOTO**


I, Thomas Turnbull, duly sworn, deposes and says: That on 5-13-26 @ 9:52 Am, I posted a true and correct copy of the Notice to Correct Violation addressed to:

OWNER
Brady Alexis
7268 SW Liverpool Rd
Arcadia, FL 34269


at the following location(s): 7268 SW Liverpool Rd

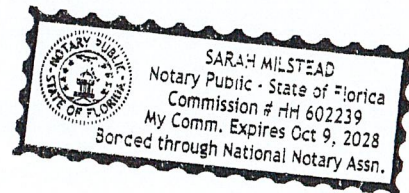
I declare under penalty of perjury that the forgoing is true and correct.

DATE: May 13, 2026

affiant 

Sworn to and subscribed before me this 13th day of May, 2026 by Thomas Turnbull who is personally known OR Produced Identification


Notary Public





05/27/2026 12:02

TOMMY TURNBULL
7268 SW LIVERPOOL RD



05/27/2026 12:03

TOMMY TURNBULL
7268 SW LIVERPOOL RD



05/27/2026 12:03

TOMMY TURNBULL
7268 SW LIVERPOOL RD



05/27/2026 12:03

TOMMY TURNBULL
7268 SW LIVERPOOL RD



05/27/2026 12:03

TOMMY TURNBULL
7268 SW LIVERPOOL RD



05/27/2026 12:04

TOMMY TURNBULL
7268 SW LIVERPOOL RD



05/27/2026 12:04

TOMMY TURNBULL
7268 SW LIVERPOOL RD



05/14/2026 10:03

SHARON GRAY
7268 SW LIVERPOOL RD



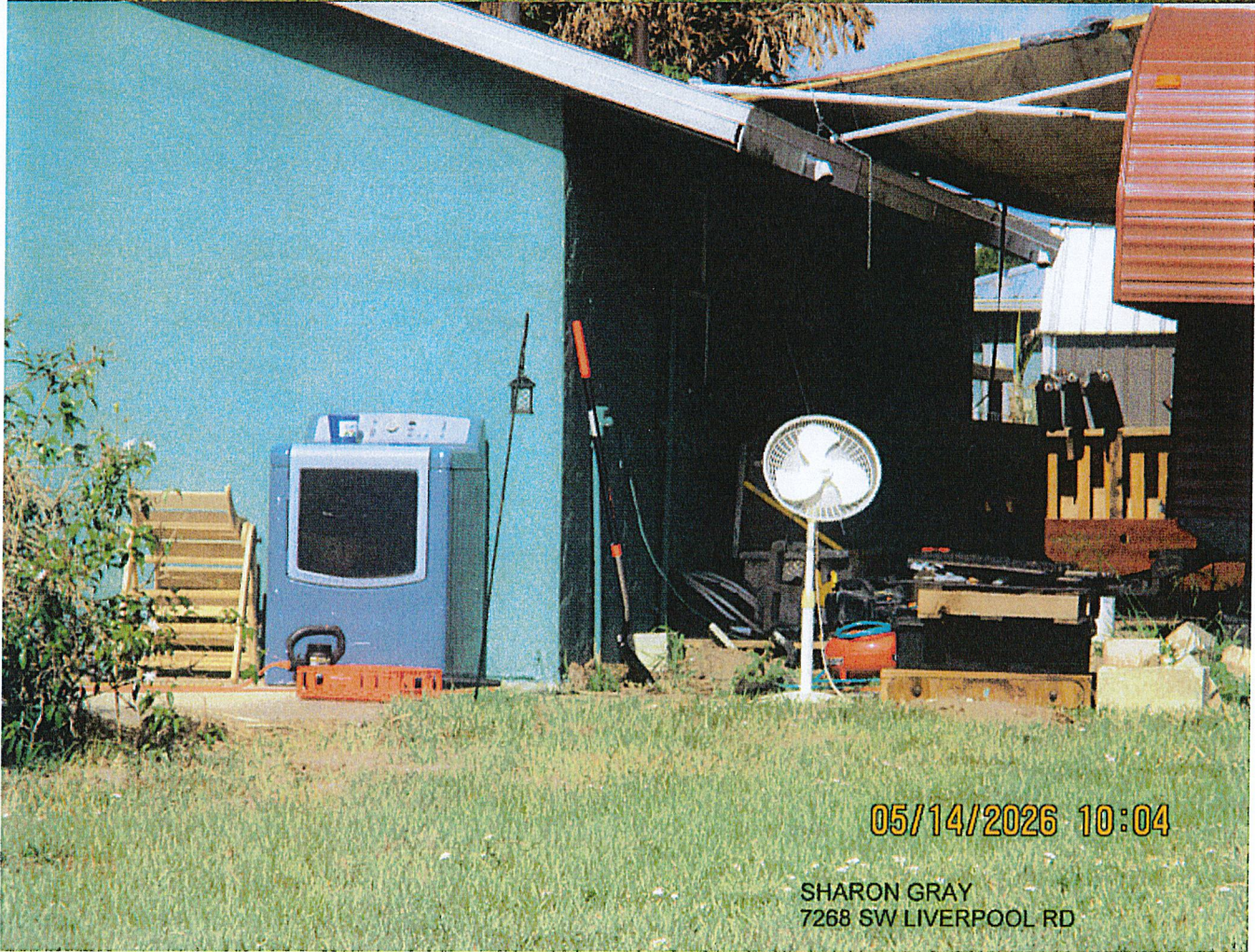
05/14/2026 10:03

SHARON GRAY
7268 SW LIVERPOOL RD



05/14/2026 10:04

SHARON GRAY
7268 SW LIVERPOOL RD



05/14/2026 10:04

SHARON GRAY
7268 SW LIVERPOOL RD



05/14/2026 10:04

SHARON GRAY
7268 SW LIVERPOOL RD



05/14/2026 10:04

SHARON GRAY
7268 SW LIVERPOOL RD



05/14/2026 10:04

SHARON GRAY
7268 SW LIVERPOOL RD



05/12/2026 10:59

TOMMY TURNBULL
7268 SW LIVERPOOL RD



05/12/2026 10:59

TOMMY TURNBULL
7268 SW LIVERPOOL RD



05/12/2026 10:59

TOMMY TURNBULL
7268 SW LIVERPOOL RD



05/12/2026 11:00

TOMMY TURNBULL
7268 SW LIVERPOOL RD



05/12/2026 11:00

TOMMY TURNBULL
7288 SW LIVERPOOL RD



05/12/2026 11:00

TOMMY TURNBULL
7288 SW LIVERPOOL RD